

CITY OF PULLMAN

Public Works and Planning Departments

325 S.E. Paradise Street, Pullman, WA 99163
(509) 338-3220 or (509) 338-3213 Fax (509) 338-3282
www.pullman-wa.gov

MEMORANDUM

TO: Pullman Historic Preservation Commission

FROM: Pete Dickinson, Planning Director *PD*
Jason Radtke, Assistant Planner *JR*

FOR: Meeting of January 9, 2017

SUBJECT: Historic Preservation Commission Business

DATE: January 4, 2017

The material below provides background information for the agenda items to be addressed by the Historic Preservation Commission (HPC) at its January 9 meeting.

1. Discuss the Mix on Main Project.

At its December 12 meeting, the HPC requested the opportunity to discuss the project known as the Mix on Main. This proposal includes the construction of a mixed-use building with retail and covered parking on the ground floor, additional parking on the second floor, and residential uses above that (see attached drawings). Specifically, there was concern that the Washington Federal Bank building may have some historical significance. As indicated by the attached page of the Reconnaissance Survey for Downtown Pullman, the structure in question was determined to be ineligible for consideration for listing on a historic register. At this time, staff will accept any further comments or questions regarding this project.

2. Discuss the Proposed 910 NE Indiana Street Duplex.

Attached is a partial set of plans for a proposed duplex to be located at 910 NE Indiana Street. While no structures are scheduled for demolition for this proposal, it would be located within the College Hill Historic District, in the vicinity of contributing properties (such as the houses at 540 NE Howard Street and 920 NE Indiana Street). Staff requests that the HPC provide input regarding this proposal at this time.

3. Discuss and Potentially Adopt 2017 Goals for the Commission.

Continuing the discussion of goals for 2017 from the December 12 meeting, staff requests that the Commission conclude this dialogue. As a reminder, the potential goals discussed at the December meeting included:

- List five additional properties on the Pullman Register of Historic Places (Local Register).
 - Solicit owners of College Hill Historic District contributing properties to nominate their properties to the Local Register.
- Apply for a CLG Grant again.
- Increase community outreach.
 - Get the HPC in the newspaper; perhaps talk with Jaime Peters about doing an interview.
 - Add the Local Register to the website, including accepted nomination packets.
- Hold another walking tour.
- Finalize the local register plaque design.
- Increase the Commission's promotional/advisory role for the preservation of endangered properties.
 - Lobby the City Council to strengthen the City's demolition and salvage requirements.
 - Create a standardized letter summarizing Commission concerns for projects involving demolition of a potential historic structure.
 - Consider proposing a "Demolition by Neglect" ordinance.
 - Consider proposing that demolition permit fees be based upon the cost of the demolition.
- Initiate annual reporting of goals and progress towards goals.
- Plan and execute a Local Register application workshop.
- Approve a design for the Red Brick Roads monument and create an implementation plan that would be realized within two years.

Obviously, this list is not all-inclusive, and many other possible goals could be proposed. The action requested of the Commission, having decided to propose goals for 2017, is to finalize those goals by motion.

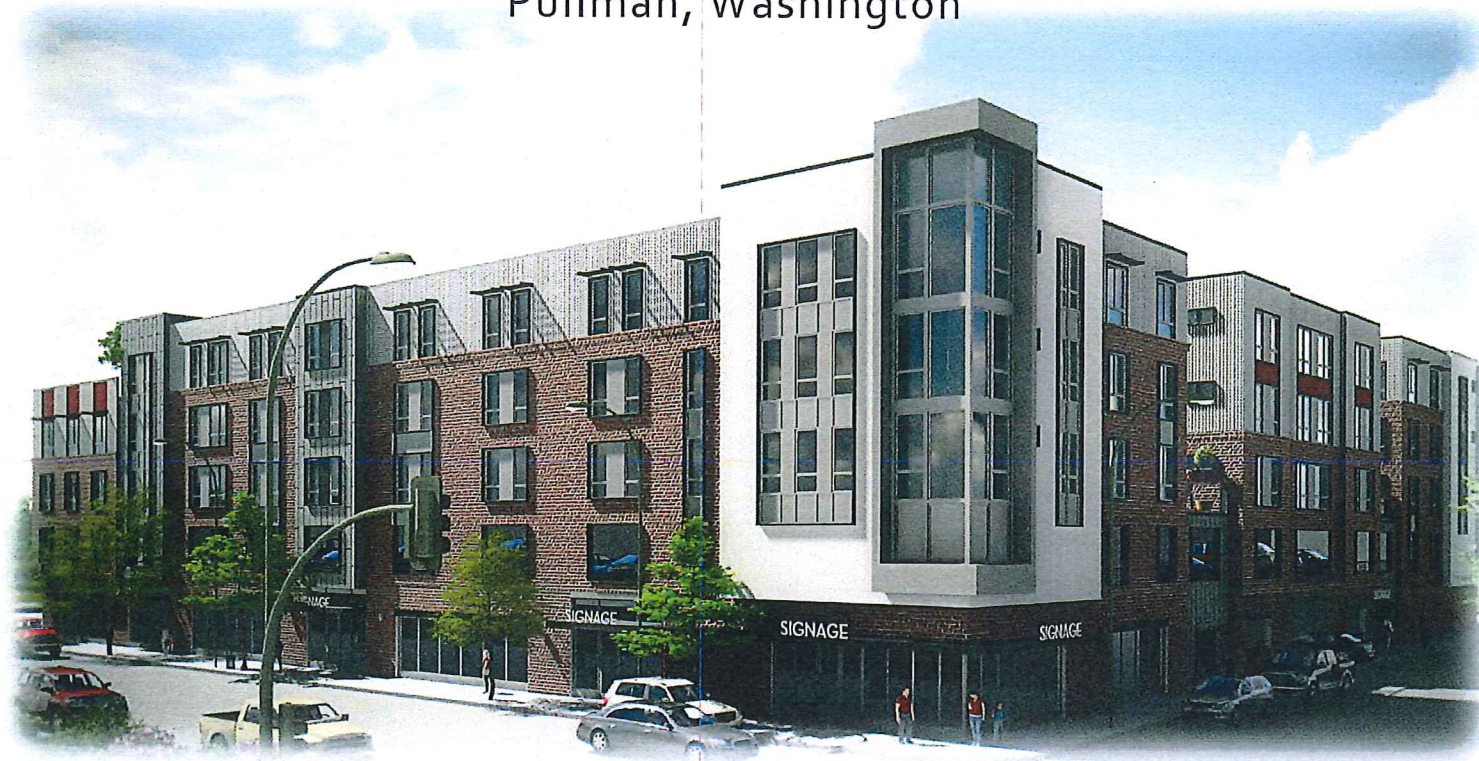
4. Elect Chairperson and Vice Chairperson for the Commission.


It is required, at the first meeting of each year, that the HPC elect a new Chair and Vice-Chair. In accordance with the by-laws of this committee, please take this time to nominate and elect new officers for the coming year.

Attachments

The Mix on Main

425 East Main Street
Pullman, Washington



	The Mix		DATE
	425 East Main Street		NOVEMBER 14, 2016
	Pullman, WA		1" = 100' & 1/4"
	for: Fields Holdings, LLC		1" = 50' & 20/32"
			Sheet
			A1.0

The Mix on Main

425 East Main Street
Pullman, Washington

PROJECT STATISTICS

ADDRESS: 425 EAST MAIN STREET
APNs: TBD
SITE AREA: 0.95 ACRES
ZONING: C2 (CENTRAL BUSINESS DISTRICT)
FLOOD ZONE: YES (ZONE A9 & ZONE B)
BASE FLOOD ELEVATION: TBD
USE PROPOSED: MULTIFAMILY RESIDENTIAL / GARAGE / RETAIL
OCCUPANCY GROUPS PROPOSED: A-2 / B / M / R-2 / S-2
CONSTRUCTION TYPE PROPOSED: TYPE V-A OVER TYPE I-A
SPRINKLERS PROPOSED: YES (NFPA-13)
NUMBER OF STORIES PROPOSED: 5 STORIES
BUILDING HEIGHT ALLOWED: 60'
BUILDING HEIGHT PROPOSED: 60'
DWELLING UNIT DATA:
2-BEDROOM UNITS: 15 UNITS
3-BEDROOM UNITS: 17 UNITS
4-BEDROOM UNITS: 48 UNITS
5-BEDROOM UNITS: 3 UNITS
TOTAL DWELLING UNITS: 83 UNITS
RETAIL BUILDING AREA: 8,500 SF
GARAGE PARKING SPACES PROVIDED: 142 SPACES

PROJECT DIRECTORY

OWNER
FIELDS HOLDINGS, LLC
2251 LINDA FLORA DRIVE
LOS ANGELES, CA 90077
ATTN: ERAN FIELDS
PHONE: (310) 903-3141
EMAIL: EFIELDS@FIELDSHOLDINGS.COM

ARCHITECT
ARRIS STUDIO ARCHITECTS
1306 JOHNSON AVENUE
SAN LUIS OBISPO, CA 93401
ATTN: THOM JESS
PHONE: (805) 547-2240
EMAIL: TJESS@ARRIS-STUDIO.COM

DRAWING INDEX

ARCHITECTURAL INDEX
A1.0 COVER SHEET
A1.1 PROJECT DATA
A2.0 SITE PLAN / 1ST FLOOR PLAN
A2.1 SECOND FLOOR PLAN
A2.2 THIRD FLOOR PLAN

TOPOGRAPHIC SURVEY

PROJECT DESCRIPTION

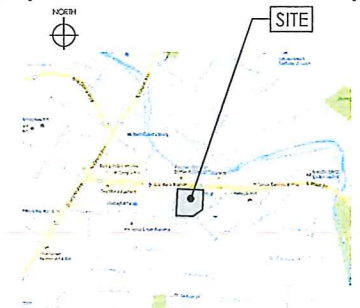
THE PROPOSED PROJECT INCLUDES 83 RENTAL APARTMENT DWELLING UNITS, 8,500 SF OF RETAIL SPACE AND 142 PARKING SPACES. THE RETAIL SPACE IS ON THE GROUND FLOOR FRONTING EAST MAIN STREET. THE GARAGE LEVEL ON THE GROUND FLOOR WILL BE AVAILABLE TO THE PUBLIC. THE PARKING SPACES ON THE SECOND FLOOR WILL BE RESERVED FOR RESIDENTS OF THE BUILDING. THE APARTMENTS WILL BE A COMBINATION OF 2, 3, 4, & 5 BEDROOM UNITS AND WILL BE ON FLOORS 2 THROUGH 5.

THE PROJECT IS SEEKING A CONDITIONAL USE PERMIT TO ALLOW A DENSITY OF 500 SF OF SITE AREA PER DWELLING UNIT. THE BASE ALLOWABLE DENSITY FOR THIS ZONE IS 1,000 SF OF SITE AREA PER DWELLING UNIT. HOWEVER 500 SF OF SITE AREA PER DWELLING UNIT IS ALLOWABLE IF THE PROJECT IS GRANTED A CONDITIONAL USE PERMIT.

THIS PROJECT IS 100% PRIVATELY FUNDED.

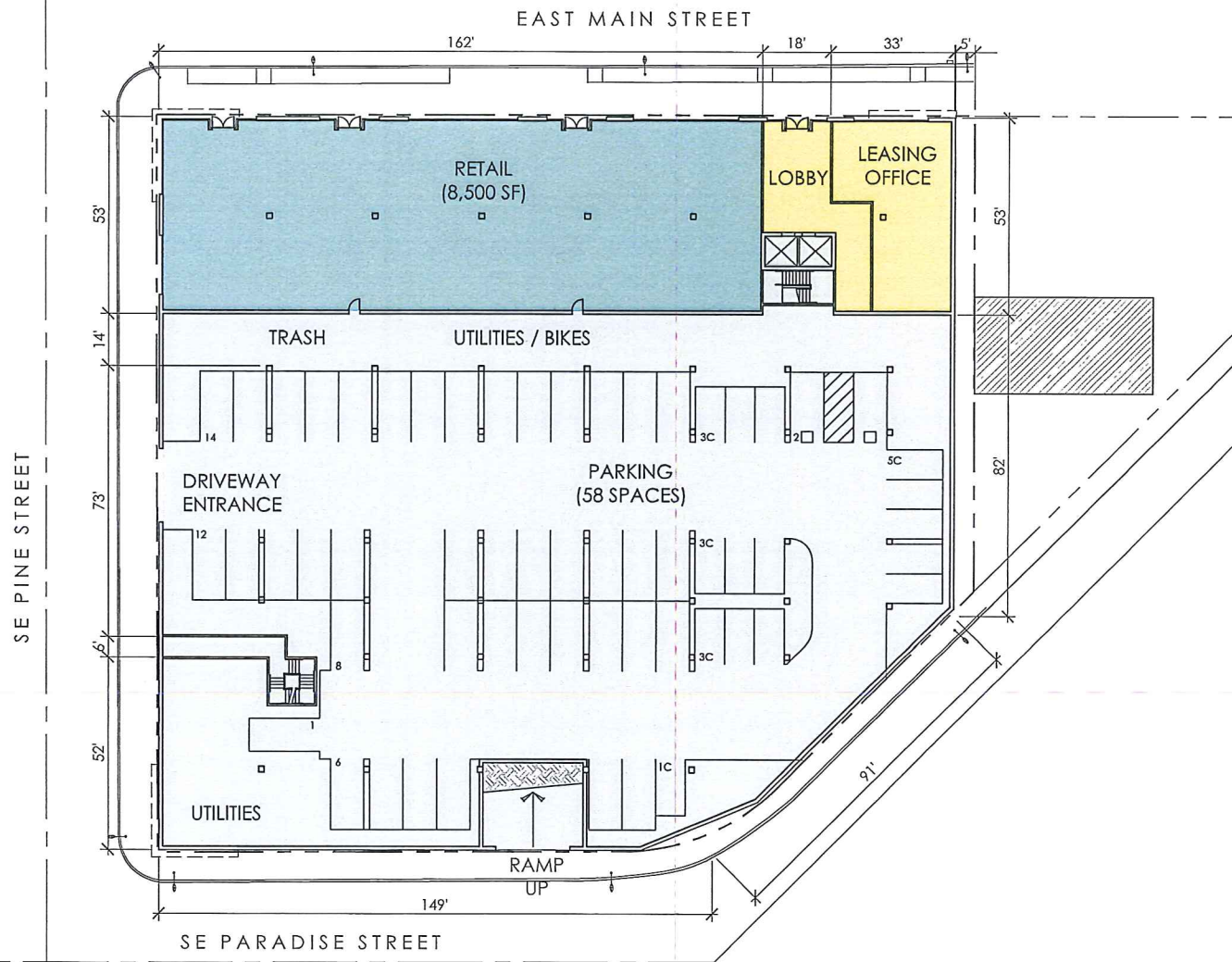
MULTIPLE GREEN BUILDING MEASURES HAVE BEEN INCORPORATED INTO THE DESIGN. THESE MEASURES INCLUDE: ENERGY STAR RATED APPLIANCES, LOW FLOW PLUMBING FIXTURES, LOW-E HIGH INSULATED WINDOWS, INCREASED WALL & ROOF INSULATIONS, RECYCLED CONTENT MATERIALS, & EXTRA BICYCLE PARKING.

VICINITY MAP



The Mix
425 East Main Street
Pullman, WA
for: Fields Holdings, LLC

DATE: NOVEMBER 14, 2014
SCALE: 1" = 100' @ 11x17
1" = 50' @ 24x36
SHEET: A1.1

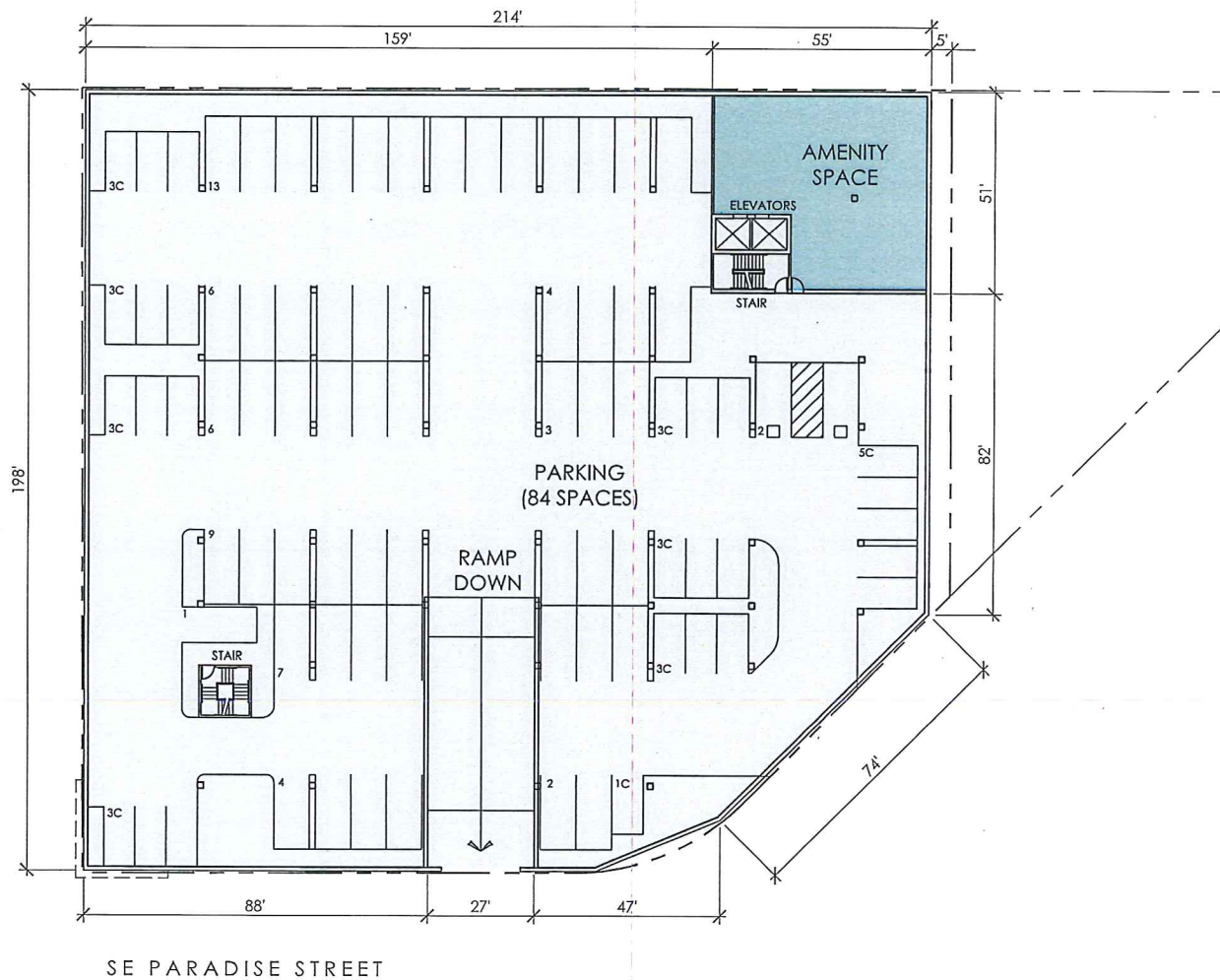


SITE PLAN / FIRST FLOOR PLAN



The Mix
425 East Main Street
Pullman, WA
for: Fields Holdings, LLC

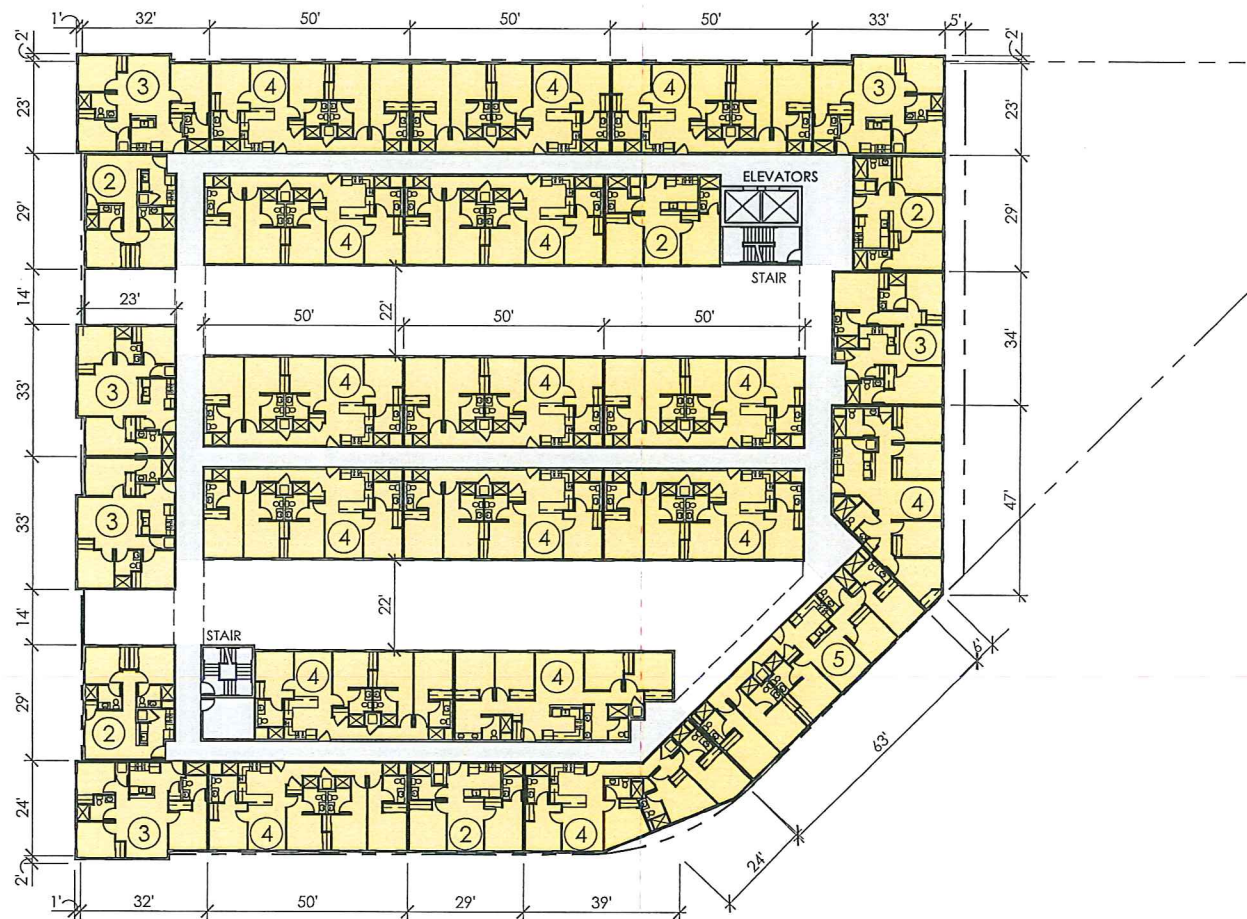
NOVEMBER 14, 2014
1" = 32' @ 11x17
1" = 16' @ 24x36
A2.0



SECOND FLOOR PLAN



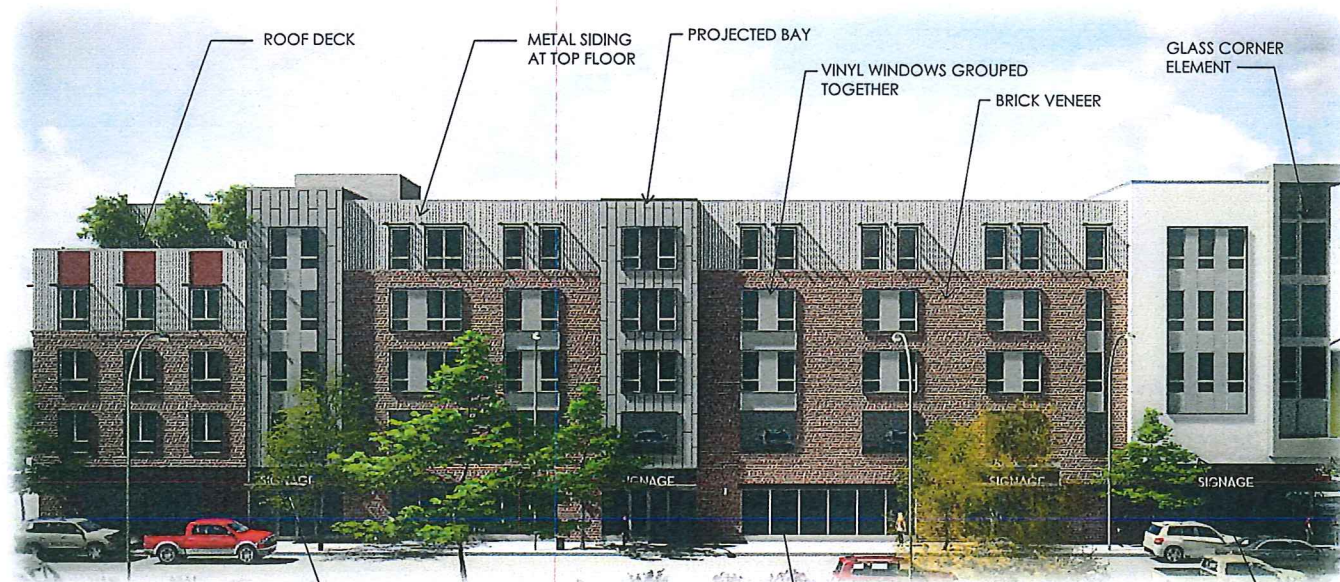
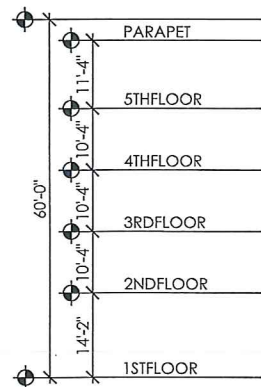
	The Mix 425 East Main Street Pullman, WA for: Fields Holdings, LLC		Date: NOVEMBER 14, 2018 Scale: 1" = 30' @ 11x17 Plot: 1" = 15' @ 24x36
			A2.1



THIRD FLOOR PLAN (FOURTH FLOOR SIMILAR)



	<p>The Mix 425 East Main Street Pullman, WA for: Fields Holdings, LLC</p>	<p>DATE NOVEMBER 14, 2016</p>
		<p>SCALE 1" = 30' @ 11x17</p>
		<p>1" = 15' @ 24x36</p>
		<p>Sheet A2.2</p>



ROOF DECK

METAL SIDING
AT TOP FLOOR

PROJECTED BAY

VINYL WINDOWS GROUPED
TOGETHER

BRICK VENEER

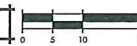
GLASS CORNER
ELEMENT

RESIDENTIAL LOBBY
ENTRANCE

ALUMINUM
STOREFRONT AT RETAIL



METAL AWNING AT GROUND
FLOOR ENTRY

MAIN STREET ELEVATION



The Mix
425 East Main Street
Pullman, WA
for: Fields Holdings, LLC

NOVEMBER 14, 2016
1" = 20' @ 11x17
1" = 15' @ 24x36
A3.0

Survey Site Data	Site Photographs
<p>Site #: 52 HPI #: Surveyed, No # Assigned Listing Status: Not Listed Date: 1915 315-317-337 East Main Street, Audian Theater, Palouse Specialty Foods and Basilio's Italian Cafe, (Jackson Block/ Grand Theater) DoE: Eligible, individually; contributing within a district Characteristics: One-story brick with terracotta details and ornamentation including two-part string course, plaques, rosettes, coping, and a seven-part name plaque. One-part commercial block theater building with display windows, transoms and theater marquee. Some original windows remain extant. Building originally constructed 1915 as the Grand Theater, renovated to the Audian Theater in 1930 and expanded in 1936 when a neighboring building was demolished (WSU, 2014).</p>	
<p>Site #: 53 HPI #: N/A Listing Status: Not Listed Date: Contemporary 425 East Main Street, Washington Federal DoE: Not Eligible Characteristics: One-story with loft, brick façade, wide overhanging metal-clad cornice, flat roof, and enframed window walls at each entry. Metal, hip-roofed covered drive-through banking lanes and drive-up window are present. A parking lot is present at this site.</p>	



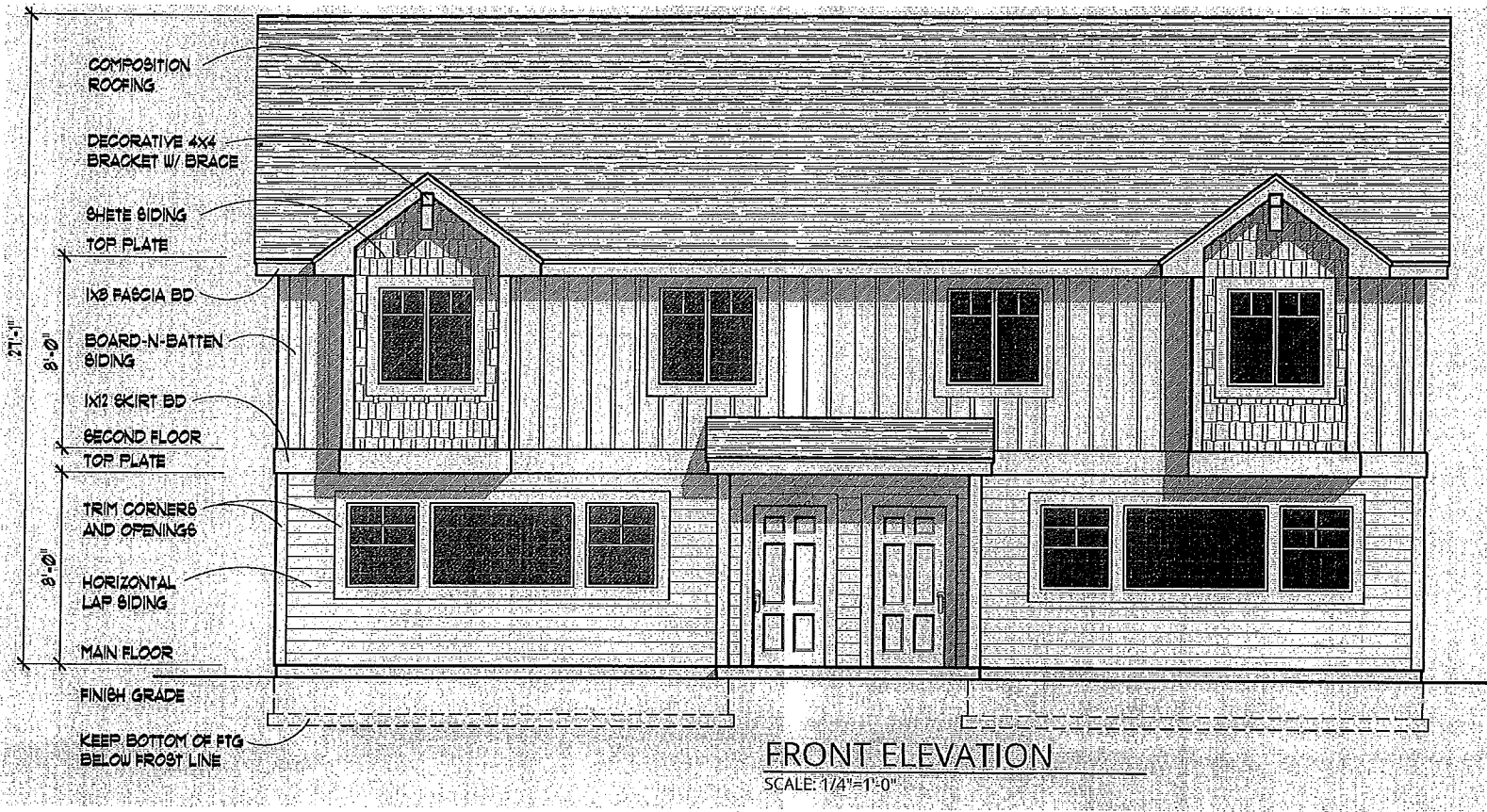
SITE CONSTRUCTION PLANS FOR: 910 NE INDIANA ST.

DEMOLITION NOTES:

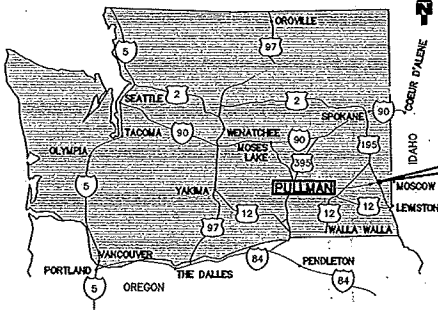
- 1. CONTRACTOR TO REVIEW PROJECT LIMITS FOR QUANTITY AND TYPE OF STRUCTURES, GROUND COVER AND DEBRIS AT THE TIME OF BIDDING AND SHALL INCORPORATE REMOVALS/DISPOSAL IN THEIR WORK.
- 2. ALL EXISTING STRUCTURES, TREES, SHRUBS, ASPHALT AND CONCRETE ARE TO BE REMOVED FROM SITE UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL REMOVE ALL WASTE MATERIAL AND DEBRIS FROM SITE AND DISPOSE OF LEGALLY IN SUITABLE LOCATIONS OFFSITE.
- 3. CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION APPROVALS/PERMITS FOR THE PROJECT SITE FROM THE CITY OF PULLMAN, AND OTHER GOVERNING AGENCIES PRIOR TO ANY CONSTRUCTION ACTIVITY.
- 4. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY AND ALL ITEMS NOT OTHERWISE LISTED HEREIN THAT CONFLICT WITH THE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL CONTACT PROJECT MANAGER IMMEDIATELY UPON ENCOUNTERING ITEM TO DETERMINE ANY ITEMS NOT SHOWN ON THE PLANS THAT MUST BE REMOVED. FAILURE TO DO SO DOES NOT RELIEVE CONTRACTOR OF COST RESPONSIBILITY FOR REMOVING ITEMS REQUIRED.
- 5. LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. RECORD LINE CAPPING LOCATIONS AND ACCURATE UTILITY LOCATIONS (HORIZONTAL & VERTICAL) WITH DIMENSION STRINGS TO PERMANENT LANDMARKS ON AS-BUILT PLAN.
- 6. CONTRACTOR SHALL SUBMIT A WRITTEN HAUL ROAD PLAN FOR THE PROJECT SITE TO PROJECT MANAGER AND OBTAIN APPROVAL FROM THEM PRIOR TO USE. VERIFY ALL OVERHEAD CLEARANCES PRIOR TO COMMENCING WORK.
- 7. CONTRACTOR SHALL SUBMIT A WRITTEN TRAFFIC CONTROL PLAN FOR THE PROJECT SITE TO PROJECT MANAGER FOR APPROVAL PRIOR TO CONSTRUCTION. THE PLAN SHALL BE IN CONFORMANCE WITH CITY OF PULLMAN AND MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS AND SHALL BE MAINTAINED AND AMENDED AS CONDITIONS CHANGE THROUGHOUT CONSTRUCTION.
- 8. CONTRACTOR SHALL PROVIDE ALL SIGNS AND BARRICADES REQUIRED TO CLOSE PARKING AND ROADWAY AREAS, REDIRECT TRAFFIC AND PEDESTRIANS, AND PROVIDE ADVANCE WARNING AND INSURE PUBLIC SAFETY. TEMPORARY SIGNS AND BARRICADES SHALL BE PER WSDOT STANDARD SPECIFICATIONS. NO HAND PAINTED SIGNS WILL BE ALLOWED.
- 9. IF AN UNDERGROUND STORAGE TANK OR UNDERGROUND PIPING CONTAINING OR COMPOSED OF ASBESTOS CONTAINING MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY CEASE WORK AND REPORT TO THE OWNER'S PROJECT TEAM.
- 10. ALL CONTRACTOR'S EMPLOYEES INVOLVED IN EXCAVATION OR DEMOLITION SHALL BE ASBESTOS AWARENESS TRAINED AND THAT DOCUMENTATION SHALL BE READILY AVAILABLE ON THE PROJECT SITE AT ALL TIMES AS PROOF OF TRAINING.

UTILITY CONSTRUCTION NOTES:

- 1. THE CURRENT EDITION OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) "STANDARD SPECIFICATIONS FOR ROAD BRIDGE AND MUNICIPAL CONSTRUCTION" AND THE CITY OF PULLMAN STANDARD CONSTRUCTION SPECIFICATIONS 2012 EDITION, ARE THE MINIMUM STANDARDS FOR CONSTRUCTION.
- 2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AT POINTS OF CONNECTION AND CROSSINGS PRIOR TO CONSTRUCTION. IF A CONFLICT ARISES, NOTIFY ENGINEER.
- 3. ALL WATERLINE, SANITARY SEWER, AND STORM SEWER CONSTRUCTION SHALL BE TO CITY OF PULLMAN STANDARDS.
- 4. DOMESTIC WATER SERVICE PIPE SHALL BE PER CITY OF PULLMAN STANDARDS.
- 5. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER ON ALL WATERLINES. WATER LINE SHALL BE GRADED TO A HIGH POINT LOCATED AT FIRE HYDRANTS. FIRE HYDRANTS ARE NOT PERMITTED TO BE USED AS AN AIR RELEASE.
- 6. CONTRACTOR SHALL LIMIT PIPE DEFLECTIONS AT ANY JOINT TO ONE DEGREE (1°) MAXIMUM.
- 7. TRENCHING BEDDING AND BACK FILL SHALL BE PERFORMED PER CITY OF PULLMAN STANDARD DRAWING NO. 21.
- 8. WATER PIPELINE FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C110 OR AWWA C153, CLASS 350.
- 9. SANITARY SEWER PIPE AND STORM SEWER PIPE SHALL BE SDR35 POLYVINYL CHLORIDE (PVC) IN CONFORMANCE WITH THE ASTM D3034.
- 10. MARK ENDS OF ALL UTILITY STUBS WITH A PAINTED PVC PIPE WIRED TO THE PIPE END. PLUG ALL PIPE ENDS WITH A SUITABLE PLUG FOR TYPE OF PIPE. EXPOSE 2 FEET OF PAINTED PVC ABOVE GRADE: STORM SEWER: WHITE
SANITARY SEWER: GREEN
GAS: YELLOW
POWER: RED
WATER: BLUE
TV/PHONE: ORANGE
- 11. ROOF DRAINS SHALL BE CONNECTED INTO THE SITE STORMDRAIN MAIN LINE PER CITY OF PULLMAN REQUIREMENTS.
- 12. ALL FRANCHISE UTILITIES SHALL MAINTAIN A MINIMUM OF 8' SEPARATION FROM ANY CITY OF PULLMAN UTILITY, EXCEPT WHERE NOTED.

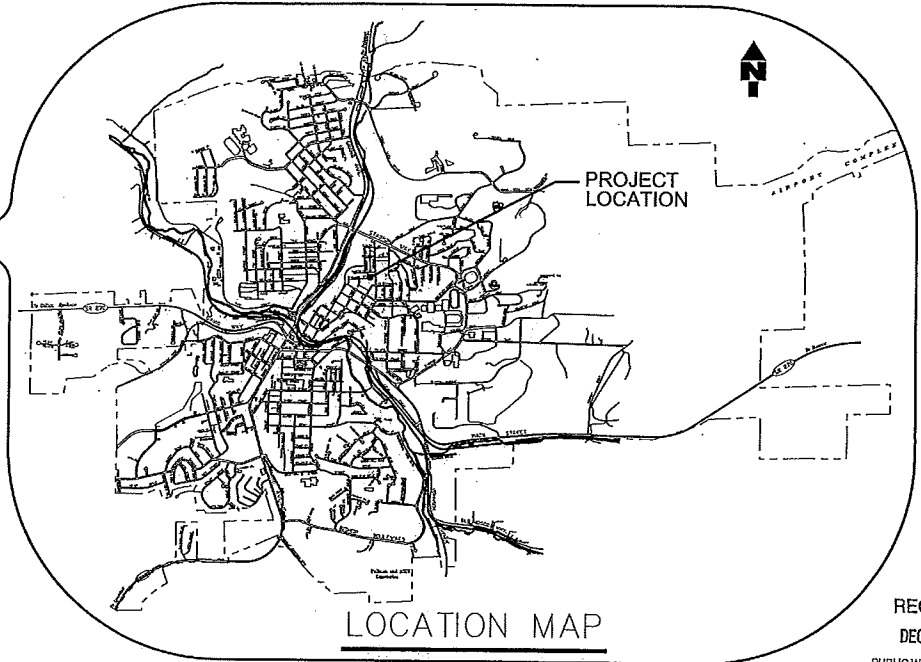


WASHINGTON STATE



VICINITY MAP

SCHEDULE OF DRAWINGS	
SHEET NO.	TITLE
1	COVER SHEET
2	DEMOLITION PLAN HORIZONTAL CONTROL AND UTILITY PLAN
3	GRADING, DRAINAGE AND EROSION CONTROL PLAN
4	MISCELLANEOUS DETAILS



LOCATION MAP



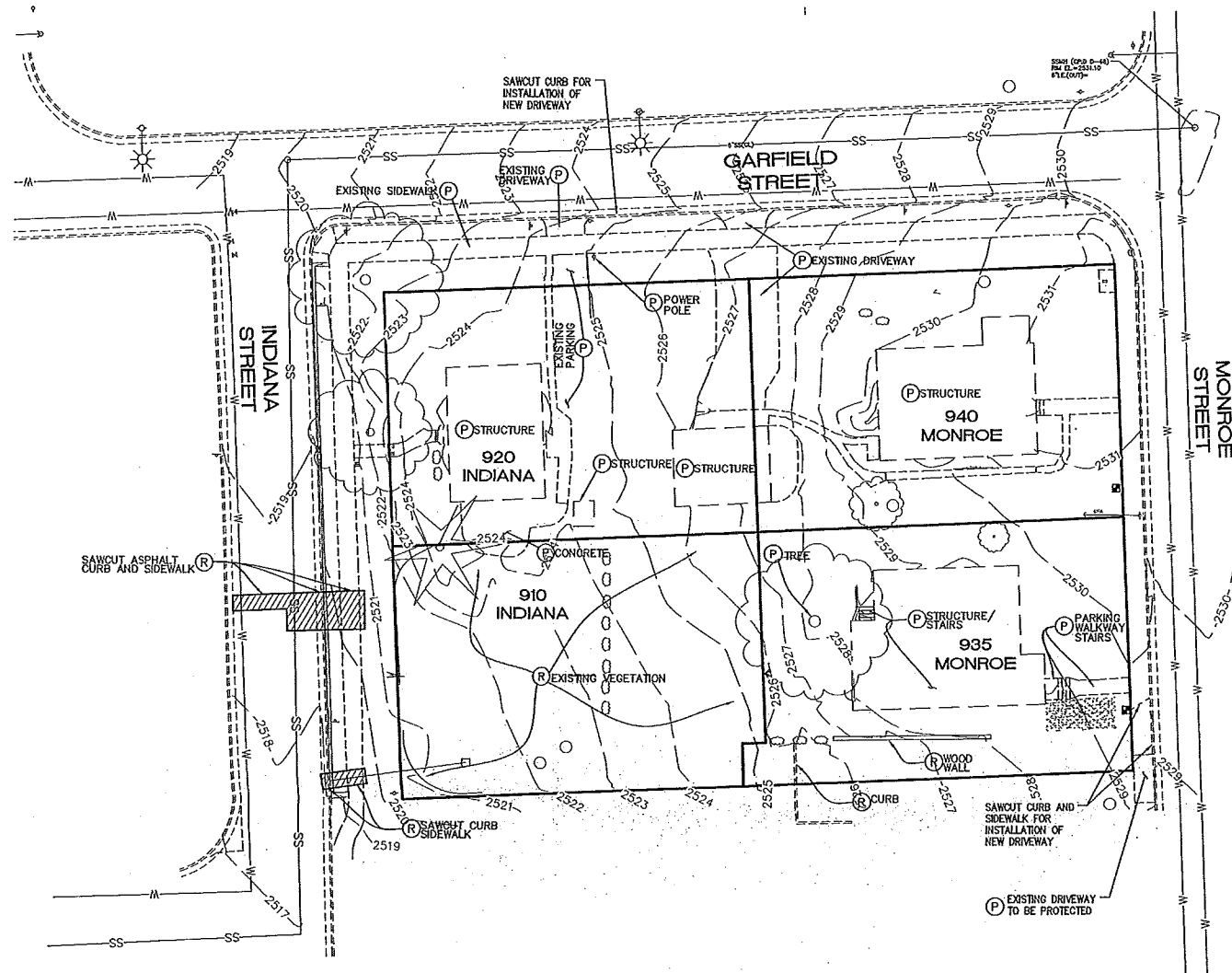
REVISIONS	
DWN: TKS	DATE: 9/2016
CK'D: RGP	DATE: 10/2016

Parametrix
ENGINEERING, PLANNING, ENVIRONMENTAL SCIENCES
245 E HARRY STREET | PULLMAN, WA 99163
P 509.334.5115 WWW.PARAMETRIX.COM

COVER SHEET

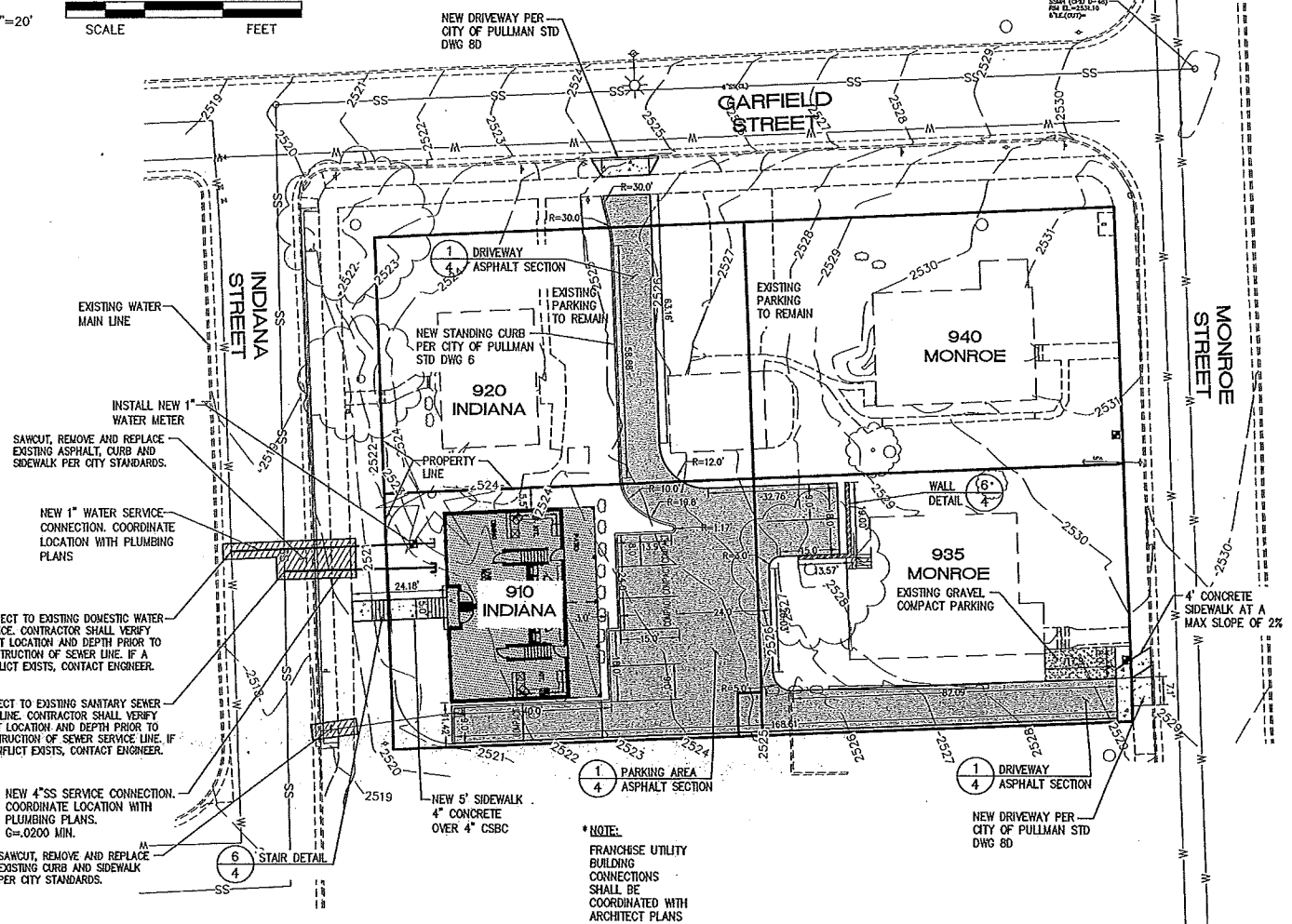
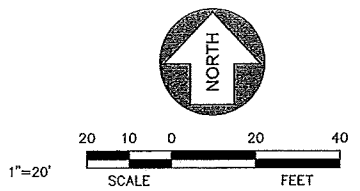
RECEIVED
DEC -6 2016
PUBLIC WORKS/PLANNING

SHEET	
SCALE: NA	1
910 NE INDIANA ST. CADD FILE: 7877002 (1) COVER	



- DEMOLITION/REMOVALS LEGEND**
- (A) CONTRACTOR TO PROTECT, ADJUST EXISTING STRUCTURE TO PROPOSED FINISHED GRADE AS NEEDED INCLUDING ALL ADJUSTMENT RINGS/FITTINGS.
 - (P) CONTRACTOR TO PROTECT AND MAINTAIN IN PLACE.
 - (R) CONTRACTOR TO REMOVE AND LEGALLY DISPOSE OF MATERIALS OFF-SITE.

EXISTING CONDITION AND DEMOLITION PLAN



HORIZONTAL CONTROL AND UTILITY PLAN

PARKING CAPACITY				
BEDROOM	PARKING	STANDARD	COMPACT	HANDICAP
8	11	6	5	0

UTILITY PURVEYORS				
TELEPHONE	FRONTIER	(208) 883-0478	BRENT MULFORD	brent.mulford@ftr.com
GAS	AMSTA	(509) 336-6204	JAMES YODER	james.yoder@avistacorp.com
ELECTRIC	AMSTA	(509) 336-6204	JAMES YODER	james.yoder@avistacorp.com
SEWER/WATER	CITY OF PULLMAN	(509) 338-3303	SAM NASRALLA	sam.nasralla@pullman-wa.gov
CABLE TV	CHARTER COMMUNICATIONS	(208) 882-7927	DALE FLOCH	dale.floch@charter.com

UTILITY STATEMENT
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. TAYLOR ENGINEERING, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, WE DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH WE DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.



REVISIONS	
DWN: JKS	DATE: 9/2016
CK'D: BGP	DATE: 10/2016

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 ENGINEERING, PLANNING, ENVIRONMENTAL SCIENCES
 215 E MAIN STREET | PULLMAN, WA 99163
 P 509-334-5115 WWW.PARAMETRIX.COM

HORIZONTAL CONTROL AND DEMOLITION PLAN

SHEET
 SCALE: 1"=20'
2
 910 NE INDIANA ST
 CADD FILE: 7877002 (2) HORIZ AND DEMO